



BROWARD COUNTY

# Board of Rules & Appeals

1 North University Drive, Suite 3500B, Plantation, Florida 33324

**To:** Members of the Broward County Board of Rules and Appeals.  
**From:** Michael Guerasio, Chief Structural Code Compliance Officer.  
Ted Fowler, Chief Structural Code Compliance Officer.  
**Date:** January 9<sup>th</sup>, 2020.  
**Re:** The Board to consider adopting policy 20-01, in reference to retrofit window & door replacements. To be in effect, mandatory, on July 1<sup>st</sup>, 2020.

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## **RECOMMENDATION:**

It is recommended that the Broward County Board of Rules and Appeals consider and approve by vote, policy 20-01 "Broward County Uniform Retrofit Window & Door Schedule" to be in effect, mandatory, on July 1<sup>st</sup>, 2020. An informational packet was developed which includes application instructions and the Broward County Uniform Retrofit Window & Door Schedule to be utilized throughout Broward County.

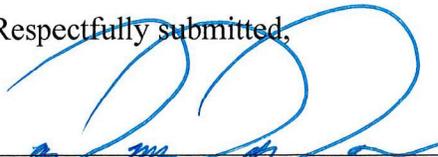
## **REASONS:**

At the June 13<sup>th</sup>, 2019 Board of Rules and Appeals regular meeting, Mr. David Rosenof, President of Big Dog Construction Services Inc, representing the Broward League of Cities suggested the possibilities of developing a uniform schedule for retrofit window & door replacements. After discussion, the Board directed the structural committee to meet and present recommendations to this request. On August 13<sup>th</sup>, 2019 the structural committee met to discuss and present recommendations to the Board whether a uniform schedule should be developed. The committee discussed this item and directed staff to develop the document and present it to the Board with no further structural committee meetings necessary by a unanimous vote. Attached you will find the new proposed retrofit window & door informational packet, including instructions and a uniform retrofit window & door schedule to be utilized throughout Broward County.

## **ADDITIONAL INFORMATION**

By approving this packet and uniform schedule, it will provide uniformity in obtaining a permit to change out window and door openings throughout Broward County. It will also provide the property owners and contractors, guidance as to what information, at a minimum, is required to be submitted to the building department to obtain a permit to change out these fenestrations.

Respectfully submitted,

  
Michael Guerasio, Chief Structural Code Compliance Officer.

  
Ted Fowler, Chief Structural Code Compliance Officer

**Board of Rules & Appeals Policy 20-01**

**Effective July 1, 2020**

**Subject:** "Broward County Uniform Retrofit Window & Door Schedule"

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**POLICY**

Each permit application for a window and door replacement "retrofit", shall be submitted to all jurisdictions in Broward County using the attached "*Broward County Uniform Retrofit Window & Door Schedule*"

This form does not relieve the permit holder, building owner or contractor from complying with all and any applicable local regulations or ordinances related to zoning, building, fire prevention, etc.; or prohibits a Broward County jurisdiction from requiring additional information to be provided in relation to applicable local regulations or ordinances related to zoning, building, fire prevention, etc.

Use of the "*Broward County Uniform Retrofit Window & Door Schedule*" is mandatory countywide starting July 1, 2020.

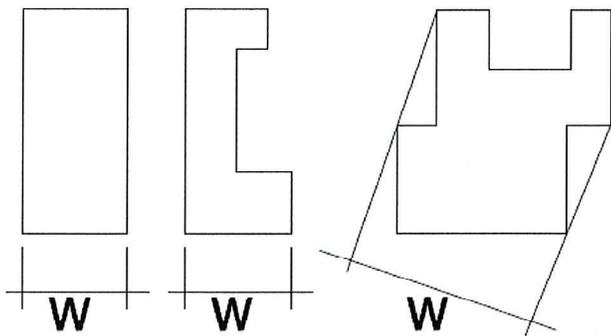
Uniform Retrofit Window & Door Schedule attached.



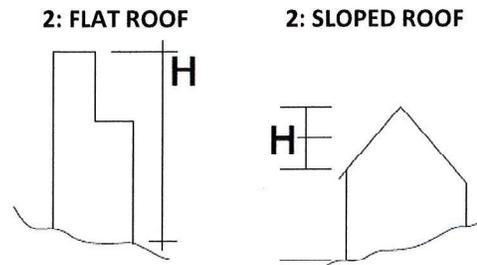
## Explanation of Terms

- 1: **Exposure C:** All of Broward County. The "Broward County Fenestration Voluntary Wind Load Chart" included within this packet can be used for all detached one & two story dwellings and multiple single-family dwellings (townhomes).
- 2: **Exposure D:** A structure that's within 600' or 20X building height of a flat area/body of water that's a mile long. Generally all areas east of the Intercoastal Waterway. Wind load pressures must be completed by a licensed design professional for all structures.
- 3: **Mean Roof Height ("h"):** Average between the lowest and the highest roof point of a sloped roof, also the highest point of a flat roof (also see page 3).
- 4: **Minimum Building Width:** 10% of least horizontal dimension (W) or 0.4h, whichever is smaller, but not less than either 4% of least horizontal dimension or 3'ft minimum.

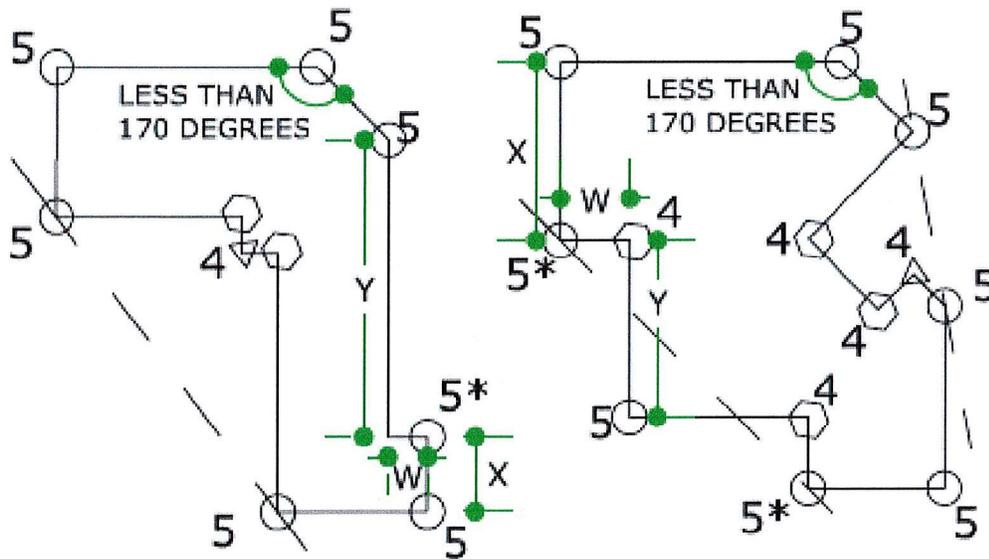
### MIN. BUILDING WIDTH EXAMPLES (PLAN VIEW):



### Mean Roof Height



### ZONE EXAMPLES (PLAN VIEW)



- INDICATES BUILDING CORNER DISCONTINUITY (ZONE 5)
- ▽ INDICATES AN OBSTRUCTED EXTERIOR CORNER (ZONE 4)
- ⬡ INDICATES A TYPICAL INTERIOR CORNER (ZONE 4)

NOTE: The corner designated by an \* would not be considered a corner if dimension W is less than half the width of the corner zone and dimension X and Y are greater than the width of a corner zone

### 170 degree:

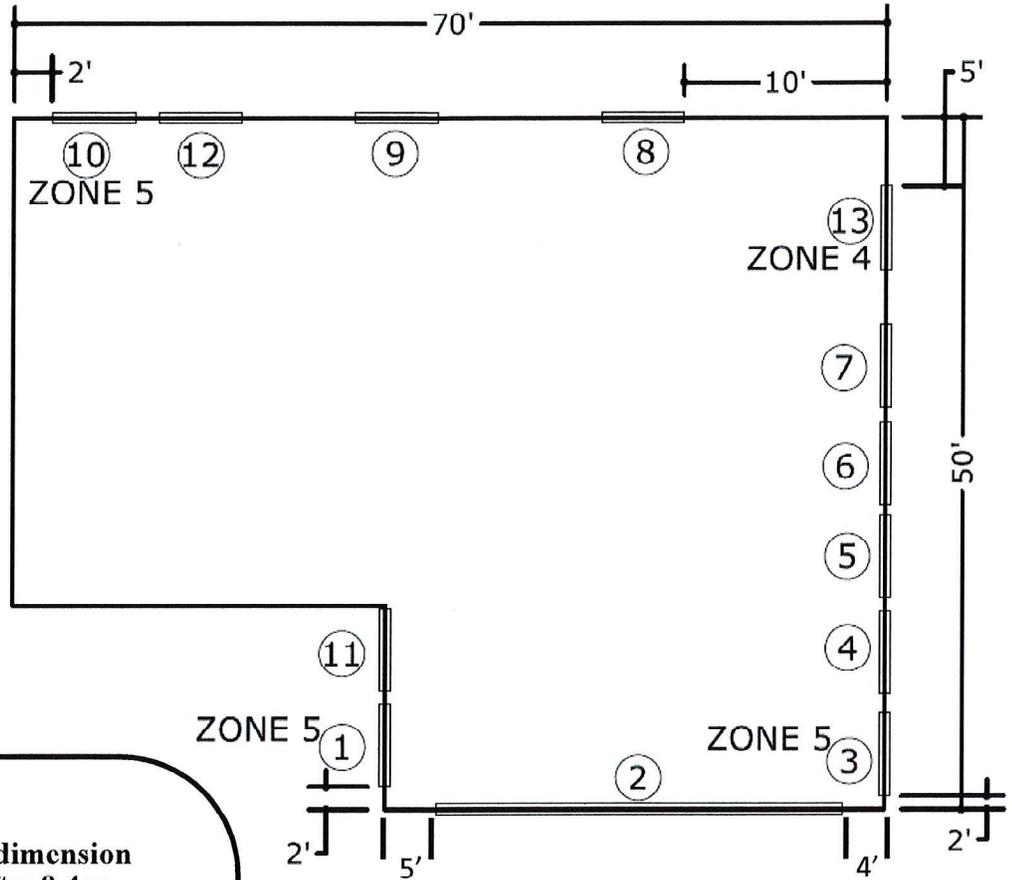
An unobstructed exterior corner with an interior angle of less than 170 degree would be considered a corner zone

See page 3 for example on how to calculate the zone dimensions of a building

Minimum Sketch Requirement

**Zone determinations:**

1. Zone 5 (corner zone) in this example is calculated as 5'ft in width, any opening within 5'ft of an outside unobstructed corner would be considered in zone 5.
2. In this example, openings 1, 2, 3 & 10 are located in a zone 5 (corner zone).
3. All other opening would be considered zone 4 (interior zone).

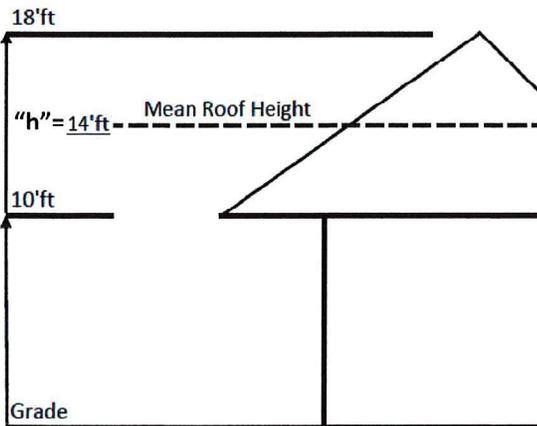


**ZONE CALCULATIONS:**

Zone 5 =  $.10 \times$  least horizontal dimension (50ft  $\times$   $.10 = 5$ ft) or  $.4 \times$  "h" (14ft  $\times$   $0.4 = 5.6$ ft) whichever is smaller, but not less than either 4% of the least horizontal dimension (50ft  $\times$  4% = 2ft), or 3ft.

Zone 5 (corner zone) would be 5'ft wide.

All others would be zone 4.



**Next Steps:**

- Complete Window & Door Schedule included within this packet
- Submit all forms to your local building department according to their instructions.
- The local building department may require additional documentation

NAME: \_\_\_\_\_ SITE ADDRESS: \_\_\_\_\_ CONTACT #: \_\_\_\_\_

1	2	3		4		5		6		7		8		9		10	
OPENING LOCATION ID	PRODUCT ACCEPTANCE NUMBER	PRODUCT APPROVAL PRESSURE RATING		REQUIRED DESIGN PRESSURE		OPENING SIZES		ZONE LOCATION		Impact Glazing		OPENING HAS EXISTING SHUTTERS		NEW SHUTTERS REQUIRED		MULLION TUBES REQUIRED	
		(+) PSF	(-) PSF	(+) PSF	(-) PSF	WIDTH X HEIGHT IN INCHES	AREA IN SQ FEET	4 INTER	5 END	YES	NO	YES	NO	YES	NO	YES	NO
						X											
						X											
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IDENTIFY OPENINGS ALPHABETICALLY OR NUMERICALLY ON ELEVATION SHEETS.

IDENTIFY VERTICALLY STACKED GLASS IN THE SAME OPENINGS FROM BOTTOM TO TOP WITH SUB NUMBERS (Example: A, A1, A2, ETC.).